

**PRE-REVIEW MEETING
6:00 P.M.
LAW CONFERENCE ROOM**

- REVIEW MEETING
6:30 P.M.
AUDITORIUM**

APPLICATION
BOARD OF ZONING APPEALS

Property Address 12966 Clifton Property Owner Name ~~Anthony~~ Mr 12966 Clifton, LLC
 Owner Phone 440-759-8383 Owner Address 7239 River Rd., Olmsted Falls 44138
 Zoning R-2 Parcel Number 312-27-040

Description of Request/Hardship Variance on roof height: We are NOT changing the height of the building. We are changing the angle the roof comes off mansard. The roof needs to be replaced at an area where leaking/water pooling is a recurring problem due to the angle where the back side of the mansard meets the flat roof. We are fixing the mansard/drainage problem while maintaining the historical look from the street and sides. The fix stays below the ^{current} height of the build which is surrounded by the mansard and brick walls.

APPLICATION FEE: \$25 Residential - \$50 Commercial.

Incomplete or Late Applications will not be Accepted.
(See calendar on page 2 for deadlines)

Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of Authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (3 copies, 8.5 x 11)
4. Photos of the existing conditions.
5. Scaled elevations, sections and perspectives of proposed building improvements. (3 copies color, 8.5 x 11)
6. Authorization for Property Access signed by the Owner. (Pg. 2 of this application form)
7. Fee

Applicant Name (Print Clearly): Andy Marzella Company 12966 Clifton, LLC
 Applicant Address: 7239 River Rd Olmsted Falls, OH 44138
 Phone: 440-759-8383 Fax: _____ E-mail: andy@LEDmb.com
 Signature: A Marzella Date: 12/3/12

OFFICE USE ONLY: Application Reviewed and Accepted by: PSA Date: 12/4/12

File History: _____

Bldg. Dept. Remarks: REQUEST A VARIANCE TO INCREASE
ROOF HEIGHT. EXISTING BUILDING APPROX
EXCEEDS 35 FEET MAXIMUM HEIGHT

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Architectural Board of Zoning Appeals applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? ☐ Yes ☒ No

Please Print or Type:

Owner/Agent Name:

Andy Mazzella

Property Address:

12966 Clifton

Owner/Agent Phone:

440-759-8383

Tenant Name

Tenant Phone

[Signature]
Owner/Agent Signature

2012 Calendar Board of Zoning Appeals

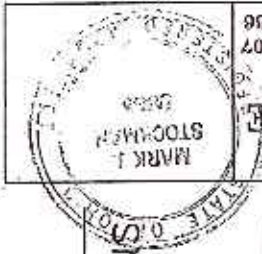
Month	Application Deadlines 12:00 PM		Pre-Review Meeting 6:00 PM - Law Conference Room		Review Meeting 6:30 PM - Auditorium	
January	Wednesday	01-04-12	Thursday	01-19-12	Thursday	01-19-12
February	Wednesday	02-01-12	Thursday	02-16-12	Thursday	02-16-12
March	Wednesday	02-29-12	Thursday	03-15-12	Thursday	03-15-12
April	Wednesday	04-04-12	Thursday	04-19-12	Thursday	04-19-12
May	Wednesday	05-02-12	Thursday	05-17-12	Thursday	05-17-12
June	Wednesday	06-06-12	Thursday	06-21-12	Thursday	06-21-12
July	Wednesday	07-03-12	Thursday	07-19-12	Thursday	07-19-12
August	Wednesday	08-01-12	Thursday	08-16-12	Thursday	08-16-12
September	Wednesday	09-05-12	Thursday	09-20-12	Thursday	09-20-12
October	Wednesday	10-03-12	Thursday	10-18-12	Thursday	10-18-12
November	Wednesday	10-31-12	Thursday	11-15-12	Thursday	11-15-12
December	Wednesday	12-05-12	Thursday	12-20-12	Thursday	12-20-12

PLEASE NOTE: Applications are submitted to the Building Department. It is recommended to submit them prior to the application deadline to review applications. Applications are due before noon on the dates indicated above. This will allow the Building Department to review the applications for completeness. Late or incomplete applications cannot be accepted.

Pre-Review Meetings for the Board begin at 6:00 P.M. in the Law Department conference room.

Review Meetings will commence at 6:30 P.M. in the Auditorium of Lakewood City Hall located at 12650 Detroit Avenue unless otherwise indicated. You or your representative **MUST** attend the review meeting in order for an application to be reviewed. Please use the western entrance.

12/31/13 8885



STOCKMAN
ARCHITECTURE
1063 MAPLECLIFFE
LAKEWOOD, OHIO 44107
227-1386

Third Floor Remodel
Andy Mazzella
18687 Inglenood
Rocky River, Ohio

TITLE
INDEX, CODE

November, 2012

A-1

THIRD FLOOR REMODEL AND MODIFICATIONS 12966 CLIFTON AVE. LAKEWOOD, OHIO

DRAWING INDEX

A-1	TITLE-INDEX AND CODE
A-2	PARTIAL THIRD FLOOR PLAN
A-3	LOFT PLAN
A-4	ROOF PLAN
A-5	OPEN
A-6	BUILDING SECTION
A-7	BALCONY PLAN/ELEVATION
A-8	DETAILS

CODE DATA SUMMARY

PROJECT DESCRIPTION AND SQUARE FOOTAGE

RENOVATION OF EXISTING THIRD FLOOR APARTMENTS UNIT 1 & UNIT 2 BOTH SAME.
- ADDING A LOFT (MEZZANINE)
- ACCESSING THE ROOF FROM THE MEZZANINE
EXISTING FACILITY APPROXIMATE GROSS SQUARE FOOTAGE 11,520 SQ. FT.

USE GROUP

R-2

CONSTRUCTION TYPE:

TYPE III: B EXISTING

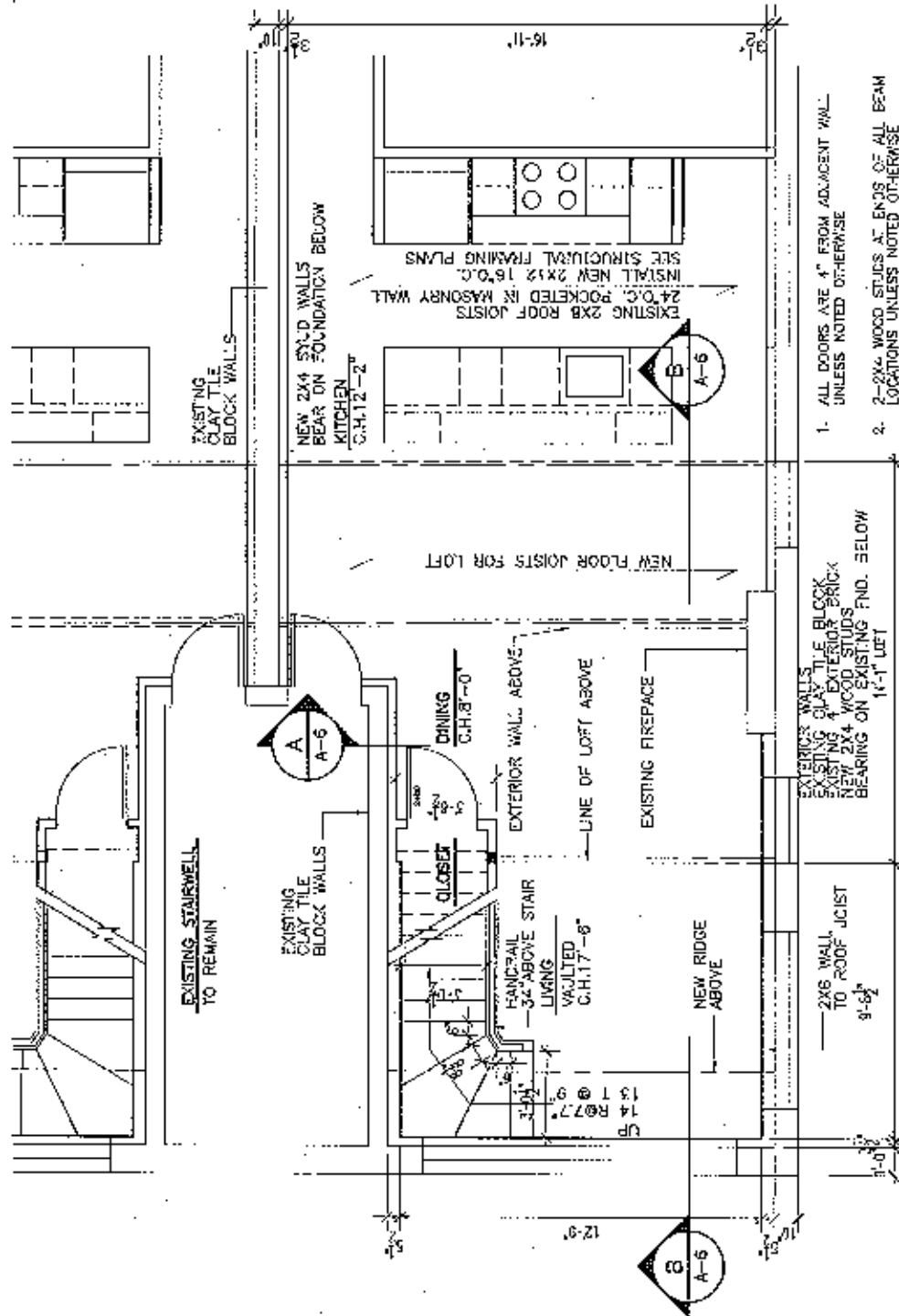
ALLOWABLE HEIGHT AND AREA

4 STORIES, 16,000 SF ALLOWED
3 STORIES, 11,520 SF EXISTING
NEW MEZZANINE
- LOFT AREA 128 SF
- OPEN TO TOTAL ROOM 517 SF
- LOFT IS 24% OF ROOM TOTAL, LESS THAN 33% MAXIMUM REQUIRED.
- 1 MEANS OF EGRESS
- HEIGHT OF MEZZANINE ABOVE AND BELOW FLOOR IS GREATER THAN 7 FEET ALLOWED.

FIRE RESISTANCE RATING

ROOF CONSTRUCTION 0 HOUR
EXTERIOR WALL 2 HOUR
INTERIOR WALL 1 HOUR

4



1. ALL DOORS ARE 4" FROM ADJACENT WALL—
UNLESS NOTED OTHERWISE
2. 2-2x4 WOOD STUDS AT ENDS OF ALL BEAM
LOCATIONS UNLESS NOTED OTHERWISE
3. 1/2" GYP. ETC. ALL WALLS (GREEN BD. IN BATHROOMS)
5/8" GYP.BD. ALL CEILINGS.
4. ALL INTERIOR WALL DIMENSIONS ARE TO
FACE OF STUDS. (EXTERIOR STUD WALL DIMENSIONS
ARE TO FACE OF SHEATHING).
5. ALL INTERIOR WALLS ARE 1 1/2" UNLESS
NOTED OTHERWISE. (EXTERIOR STUD WALLS
ARE 4" ¹/₂).
6. ALL EXTERIOR DOORS ARE WEATHER-STRIPPED

THIRD FLOOR^{TYPICAL FOR EACH UNIT}

SCALE: 1/4" = 1'-0"





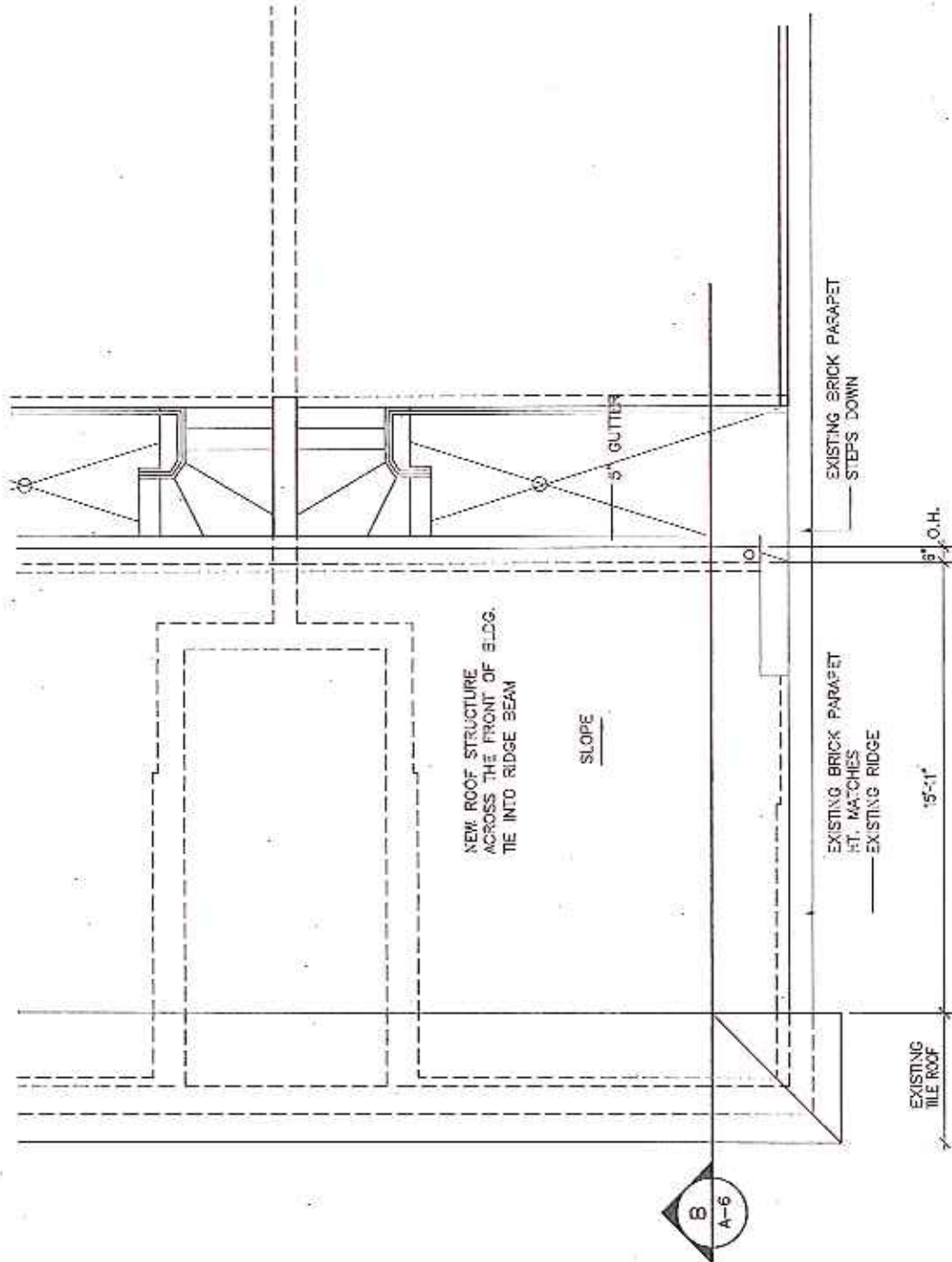
STOCKMAN
ARCHITECTURE
1063 MAPLECLIFFE
LAKEWOOD, OHIO 44107
227-1380

LOFT AND ROOF PLAN
Andy Mazzella
18687 Inglenood
Rocky River, Ohio

ROOF
PLAN

NOVEMBER, 2012

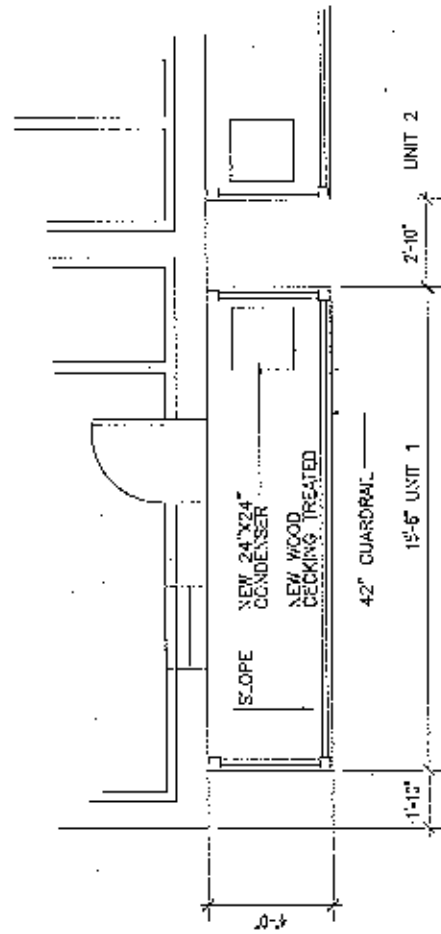
A-4



ROOF PLAN OVER BOTH UNITS

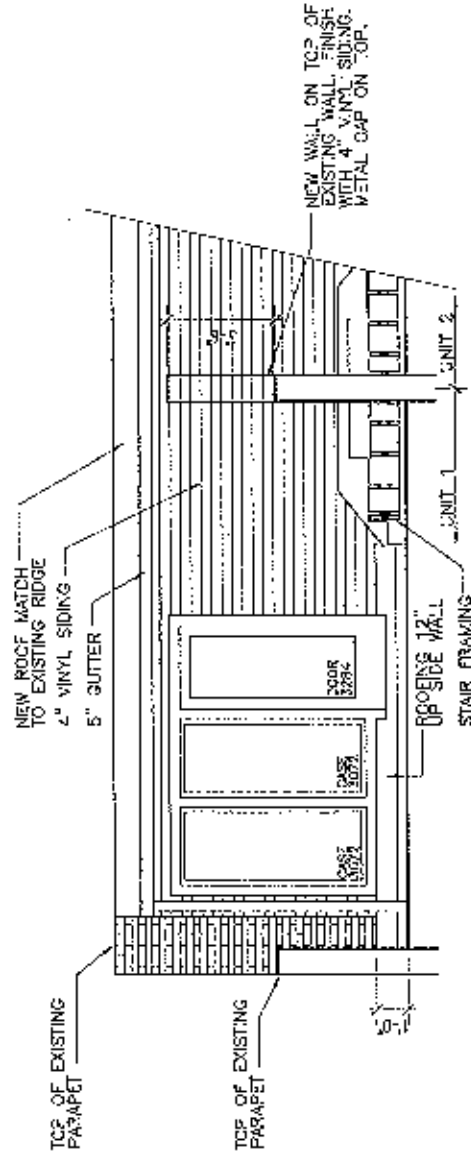
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



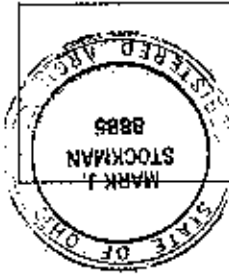
BALCONY PLAN LOCATED BACK OF BUILDING
SEE STRUCTURAL DRAWINGS FOR FRAMING

SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATION B

SCALE: 1/4" = 1'-0"



STOCKMAN ARCHITECTURE
1055 MAPLECLIFFE
LAKEWOOD, OHIO 44107
227-1388

THIRD FLOOR REMODEL
Andy Mozzello
18507 Inglenood
Rocky River, Ohio

BALCONY PLAN ELEVATION
NOVEMBER 22, 2012

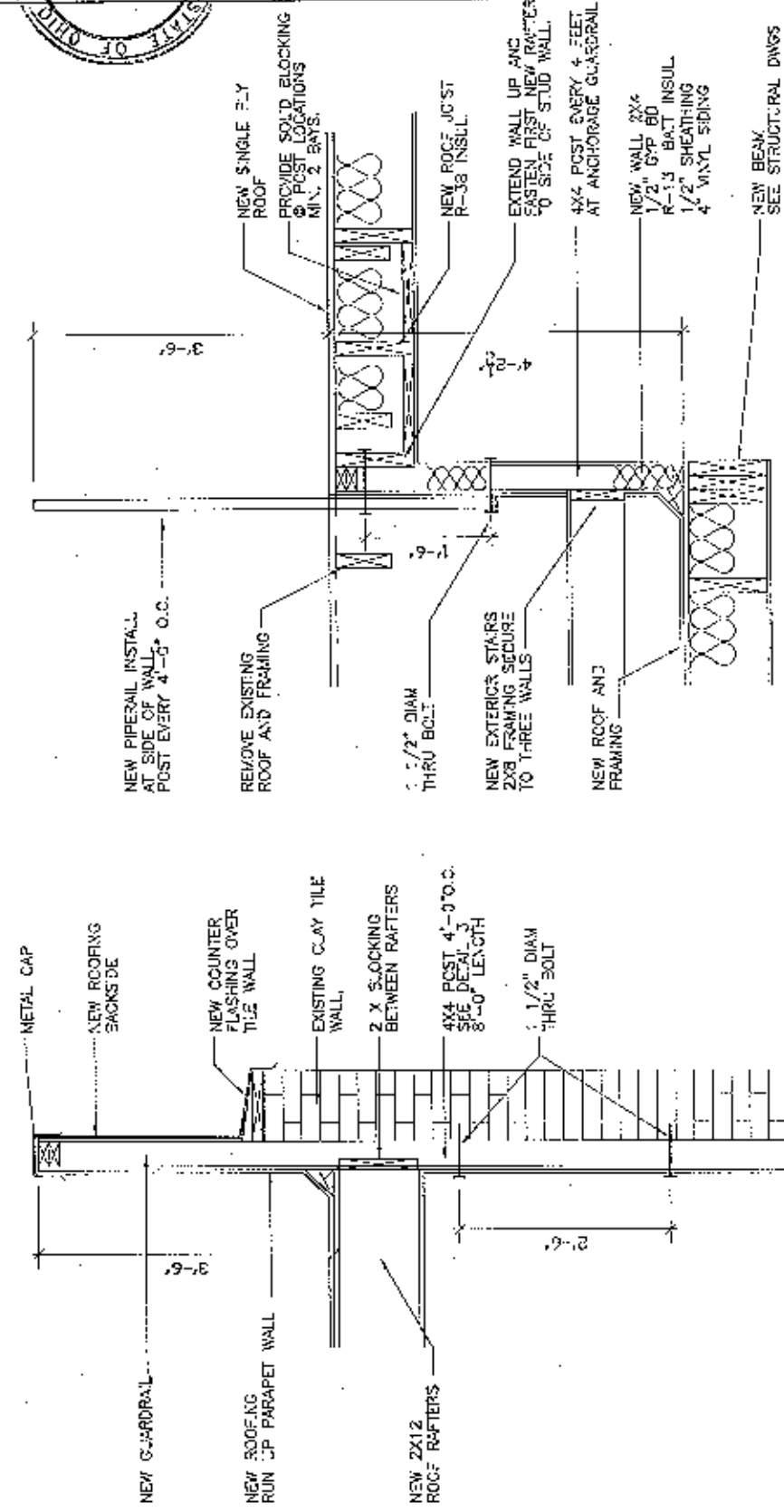
A-7

STOCKMAN ARCHITECTURE
1053 MAPLECLIFFE
LAKEWOOD, OHIO 44107
227-1388

THIRD FLOOR REMODEL
18687 Ingwood
Rocky River, Ohio

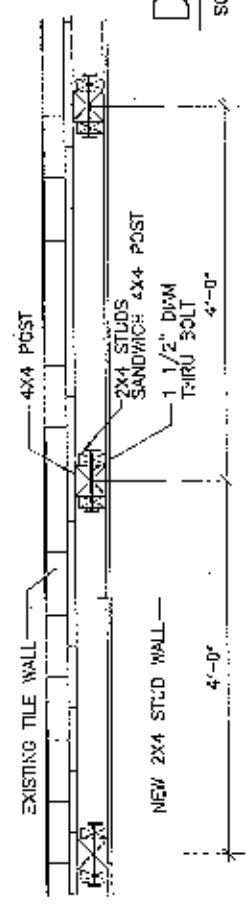
MARK J. STOCKMAN
6885
REGISTERED ARCH.
STATE OF OHIO

A-8



DETAIL 1
SCALE: 3/4"=1'-0"

DETAIL 2
SCALE: 3/4"=1'-0"



DETAIL 3
SCALE: 3/4"=1'-0"

4. **GRAND**

- THE CONTRACTOR SHALL NOTIFY THE ENGINEER WITHIN 48 HOURS OF THE COMMENCEMENT OF CONSTRUCTION OF ANY DISCREPANCIES, OMISSIONS, OR WHERE CONDITIONS ARE ENCOUNTERED THAT WILL NOT BE ANTICIPATED BY THE DRAWINGS.
- THE STRUCTURE IS TO BE OF ANY DIMENSIONS, NOT BE STRUCTURALLY LOADED OR OF ANY OTHER FINISHES.
- THE CONTRACTOR IS TO BE RESPONSIBLE FOR THE BUILDING BEING FULLY COMPLETED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND REQUIREMENTS, AND INSURE THE SAFETY OF THE BUILDING AND ITS OCCUPANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

9183 LARSEN, J. 1973. 2

- STRUCTURAL DESIGN STANDARDS
CHINA BUILDING CODE (CURRENT EDITION)
BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (GB 50153)
SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (GB 50193)
AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS (AISC)
NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS)
BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (MCS 90)

- | | LOOK LIVE LOC 25 | LOOK LOC 2: |
|-----|------------------|-------------|
| 1 | MAIN FLOOR | MINIMUM |
| 2 | 1ST FLOOR | SHOW |
| 3 | 2ND FLOOR | 7B |
| 4 | 3RD FLOOR | 7C |
| 5 | 4TH FLOOR | 7D |
| 6 | 5TH FLOOR | 7E |
| 7 | 6TH FLOOR | 7F |
| 8 | 7TH FLOOR | 7G |
| 9 | 8TH FLOOR | 7H |
| 10 | 9TH FLOOR | 7I |
| 11 | 10TH FLOOR | 7J |
| 12 | 11TH FLOOR | 7K |
| 13 | 12TH FLOOR | 7L |
| 14 | 13TH FLOOR | 7M |
| 15 | 14TH FLOOR | 7N |
| 16 | 15TH FLOOR | 7O |
| 17 | 16TH FLOOR | 7P |
| 18 | 17TH FLOOR | 7Q |
| 19 | 18TH FLOOR | 7R |
| 20 | 19TH FLOOR | 7S |
| 21 | 20TH FLOOR | 7T |
| 22 | 21TH FLOOR | 7U |
| 23 | 22TH FLOOR | 7V |
| 24 | 23TH FLOOR | 7W |
| 25 | 24TH FLOOR | 7X |
| 26 | 25TH FLOOR | 7Y |
| 27 | 26TH FLOOR | 7Z |
| 28 | 27TH FLOOR | 7A |
| 29 | 28TH FLOOR | 7B |
| 30 | 29TH FLOOR | 7C |
| 31 | 30TH FLOOR | 7D |
| 32 | 31TH FLOOR | 7E |
| 33 | 32TH FLOOR | 7F |
| 34 | 33TH FLOOR | 7G |
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| 36 | 35TH FLOOR | 7I |
| 37 | 36TH FLOOR | 7J |
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| 42 | 41TH FLOOR | 7O |
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| 46 | 45TH FLOOR | 7S |
| 47 | 46TH FLOOR | 7T |
| 48 | 47TH FLOOR | 7U |
| 49 | 48TH FLOOR | 7V |
| 50 | 49TH FLOOR | 7W |
| 51 | 50TH FLOOR | 7X |
| 52 | 51TH FLOOR | 7Y |
| 53 | 52TH FLOOR | 7Z |
| 54 | 53TH FLOOR | 7A |
| 55 | 54TH FLOOR | 7B |
| 56 | 55TH FLOOR | 7C |
| 57 | 56TH FLOOR | 7D |
| 58 | 57TH FLOOR | 7E |
| 59 | 58TH FLOOR | 7F |
| 60 | 59TH FLOOR | 7G |
| 61 | 60TH FLOOR | 7H |
| 62 | 61TH FLOOR | 7I |
| 63 | 62TH FLOOR | 7J |
| 64 | 63TH FLOOR | 7K |
| 65 | 64TH FLOOR | 7L |
| 66 | 65TH FLOOR | 7M |
| 67 | 66TH FLOOR | 7N |
| 68 | 67TH FLOOR | 7O |
| 69 | 68TH FLOOR | 7P |
| 70 | 69TH FLOOR | 7Q |
| 71 | 70TH FLOOR | 7R |
| 72 | 71TH FLOOR | 7S |
| 73 | 72TH FLOOR | 7T |
| 74 | 73TH FLOOR | 7U |
| 75 | 74TH FLOOR | 7V |
| 76 | 75TH FLOOR | 7W |
| 77 | 76TH FLOOR | 7X |
| 78 | 77TH FLOOR | 7Y |
| 79 | 78TH FLOOR | 7Z |
| 80 | 79TH FLOOR | 7A |
| 81 | 80TH FLOOR | 7B |
| 82 | 81TH FLOOR | 7C |
| 83 | 82TH FLOOR | 7D |
| 84 | 83TH FLOOR | 7E |
| 85 | 84TH FLOOR | 7F |
| 86 | 85TH FLOOR | 7G |
| 87 | 86TH FLOOR | 7H |
| 88 | 87TH FLOOR | 7I |
| 89 | 88TH FLOOR | 7J |
| 90 | 89TH FLOOR | 7K |
| 91 | 90TH FLOOR | 7L |
| 92 | 91TH FLOOR | 7M |
| 93 | 92TH FLOOR | 7N |
| 94 | 93TH FLOOR | 7O |
| 95 | 94TH FLOOR | 7P |
| 96 | 95TH FLOOR | 7Q |
| 97 | 96TH FLOOR | 7R |
| 98 | 97TH FLOOR | 7S |
| 99 | 98TH FLOOR | 7T |
| 100 | 99TH FLOOR | 7U |
| 101 | 100TH FLOOR | 7V |
| 102 | 101TH FLOOR | 7W |
| 103 | 102TH FLOOR | 7X |
| 104 | 103TH FLOOR | 7Y |
| 105 | 104TH FLOOR | 7Z |
| 106 | 105TH FLOOR | 7A |
| 107 | 106TH FLOOR | 7B |
| 108 | 107TH FLOOR | 7C |
| 109 | 108TH FLOOR | 7D |
| 110 | 109TH FLOOR | 7E |
| 111 | 110TH FLOOR | 7F |
| 112 | 111TH FLOOR | 7G |
| 113 | 112TH FLOOR | 7H |
| 114 | 113TH FLOOR | 7I |
| 115 | 114TH FLOOR | 7J |
| 116 | 115TH FLOOR | 7K |
| 117 | 116TH FLOOR | 7L |
| 118 | 117TH FLOOR | 7M |
| 119 | 118TH | |

- | | 1 | 2 | 3 | 4 | 5 |
|---|-----|---|---|---|---|
| 1. EARTH-CLAYE LOAD: | | | | | |
| 2. STS CLASS | 51b | | | | |
| 3. STS CLASS | 54 | | | | |
| 4. BASIC SEISMIC FORCE-RECTIFYING SYSTEM | | | | | |
| 5. C.O.W. INTENSIFY, FORCE PROCEDURE | | | | | |
| 6. REINFORCING DOES NOT EXCEED 5 INSPERIT, DOES NOT BOWEN | | | | | |
| 7. JOINT-SEISMIC USE GROUP 3 | | | | | |
| 8. 0.12b | | | | | |
| 9. 0.13b | | | | | |
| 10. JOINT-SEISMIC JOINT | | | | | |
| 11. JOINT-BEARING MASONRY WALLS | | | | | |

STUDY NOVENICA

1. DITCH ALLOWANCE TO SOIL BEARING PRESSURE IS 2000 PSF (AS PER I.C.C.).
2. THE CONTRACTOR IS TO VERIFY ALL EXISTING MEASUREMENTS DURING FOUNDATION CONSTRUCTION.
3. ALL FOOTINGS SHALL PROJECT AT LEAST 2" INTO UNDISTURBED SOIL. BOTTOMS OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 3" BELOW FINISH GRADE.
4. ALL JUSTIFIED EARTH UNDER FOOTINGS SHALL BE INFILLED WITH CONCRETE. ALL BEARING STRUTS SHALL BE ANCHORED INTO WALLS BEFORE FOUNDATION CONCRETE IS PLACED.
5. EXISTING SLOTTED WALLS WITH REINFORCING: UNLESS A 15% OF THE DESIGN CAPACITY IS NOT DEVELOPED AT THE EXISTING FOOTINGS, THE FOOTINGS SHALL BE COMPLETED ON THIS AND THE EXISTING FOOTINGS SHALL BE REINFORCED BY THE CONTRACTOR.

2. MAGNETRY.

1. WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST AASHTO STANDARD SPECIFICATIONS FOR CONCRETE FOR NON-PORT STRUCTURES.
2. FOLLOWING CONCRETE MASONRY UNITS SHALL BE ASTM A601 TYPE 1 WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI (AS PER AASHTO).
3. 8" X 8" MASONRY UNITS SHALL BE ASTM C90, TYPE 1, WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI (AS PER AASHTO).
4. MORTAR FOR CONJOINTS, BEDDING AND NON-REINFORCED WALLS SHALL BE ASTM A601 TYPE 1 WITH A COMPRESSIVE STRENGTH OF 3,000 PSI.
5. MORTAR FOR ARCH-LOAD BEARING PARTITION WALLS SHALL BE TYPE X WITH A SPECIFIC 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
6. GROUT STRENGTH SHALL BE 3,000 PSI MINIMUM. GROUT TO BE PLACED ABOUT 1" BELOW JOINTS.
7. REINFORCING STEEL SHALL BE LAPPED AS PER STANDARD.
8. ALL MASONRY UNITS SHALL HAVE DESIRED HORIZONTALS BETWEEN UNITS AS PER AASHTO.
9. JOINTS SHALL BE 3/4" ON EACH SIDE AND GROSS JOINTS SPACED 16" O.C. VERTICALLY FOR ALL WALLS (EXCEPT GROUND).
10. PROVIDE 1" THICK RAIN, FLOOD OR CALCULATED MASONRY UNDER ALL STEEL BEAMS OR Y-PIERS.
11. PROVIDE VERTICAL WALL REINFORCING AS NOTED ON PLAN AND (C) ALL AT ALL CORNERS AND AT SPACES OF WALL JOINTS GREATER THAN 7'5" HIGH.

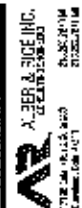
UNIT 13: THE AGONY OPENING

- PROVIDE 3" MINIMUM DECKING FOR ALL CONCRETE MASONRY UNITS AND 7" MINIMUM DECKING FOR ALL STEEL UNITS UP TO 6'-0" AND 8" MINIMUM DECKING FOR SPANS OVER 6'-0".

- SEE LISTINGS
FOR AGENCY LIST
FROM 4-10 TO 10-17-40
FROM 10-18 TO 11-4
FROM 11-5 TO 11-11-40
FROM 11-12 TO 11-18-40
FROM 11-19 TO 11-25-40
FROM 11-26 TO 12-2-40
FROM 12-3 TO 12-9-40
FROM 12-10 TO 12-16-40
FROM 12-17 TO 12-23-40
FROM 12-24 TO 12-30-40
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FROM 5-28 TO 6-3-45
FROM 6-4 TO 6-10-45
FROM 6-11 TO 6-17-4

[illegible]

3. USE ONE ANGLE FOR EACH 4" WIDTH OF RAFTERS.



2013

LAKEMOOD APT.
RENOVATION

2255 CRAFTS AVE
LAKELAND, FL 33801

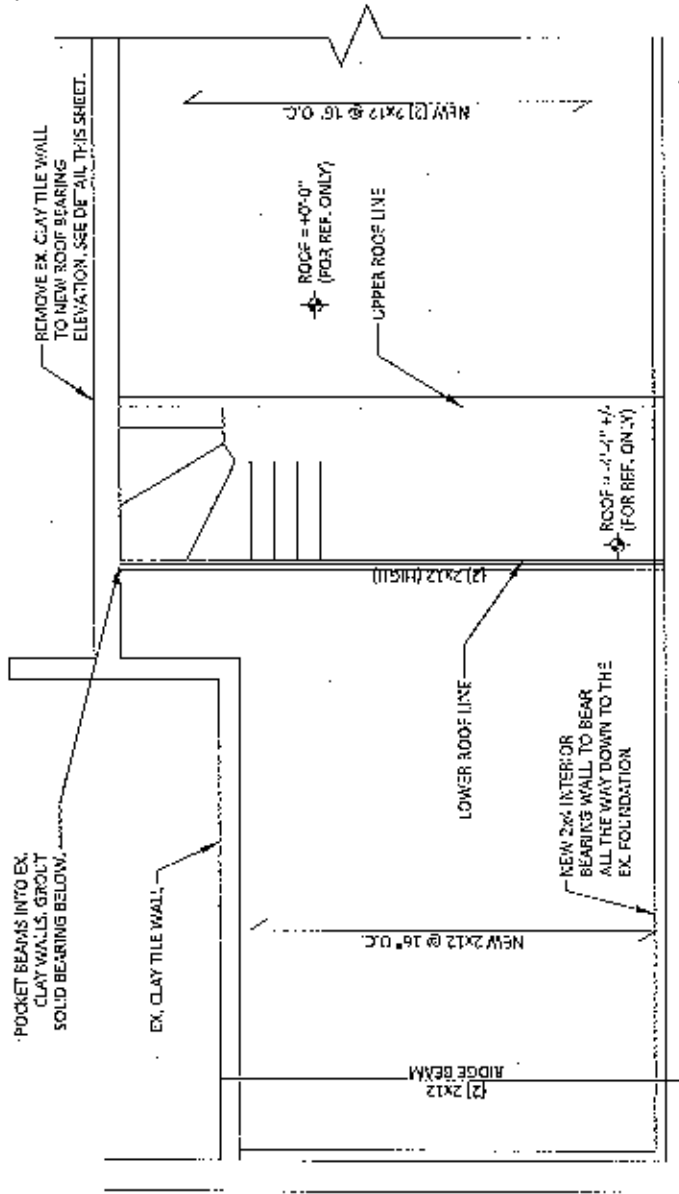
ISSUE	DATE
PERMIT	11.15.11

SUBJECT NO.	1397-34
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GENERAL NOTES

03-13-03

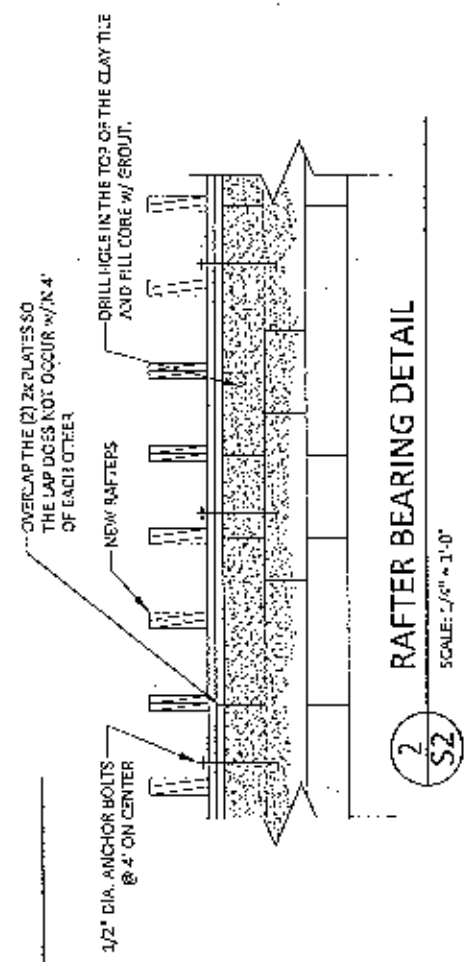
51



1
S2

ROOF FRAMING

SCALE: 1/4" = 1'-0"



2
S2

RAFTER BEARING DETAIL

SCALE: 1/8" = 1'-0"

AR ALBEE & RICE, INC.
ARCHITECTS
17500 W. 13th St.
Suite 200
Lakewood, CO 80226

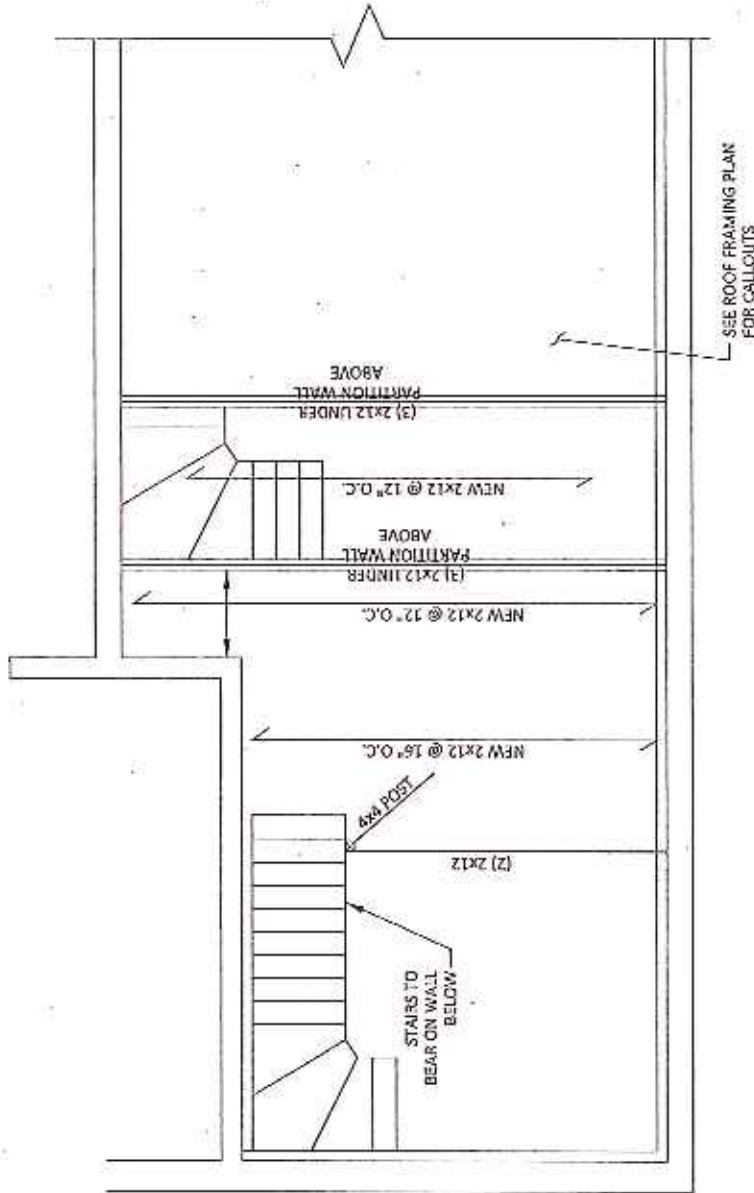


PROJECT
LAKEWOOD APT.
RENOVATION

12066 CLIFTON AVE
LAKEWOOD, OHIO

ISSUE	DATE
PERMIT	11.25.12
PROJECT NO.	1210-04
ROOF FRAMING	

SHEET NO.
S2



LOFT FRAMING

SCALE: 3/4" = 1'-0"

1
S3

AR ALBUR & ROSE INC.
2201 JEFFERSON ST.
CINCINNATI, OH 45202
TEL: 513-241-2776
FAX: 513-241-2777



PROJECT

LAKWOOD APT.
RENOVATION

12566 CLIFTON AVE
LAKWOOD, OHIO

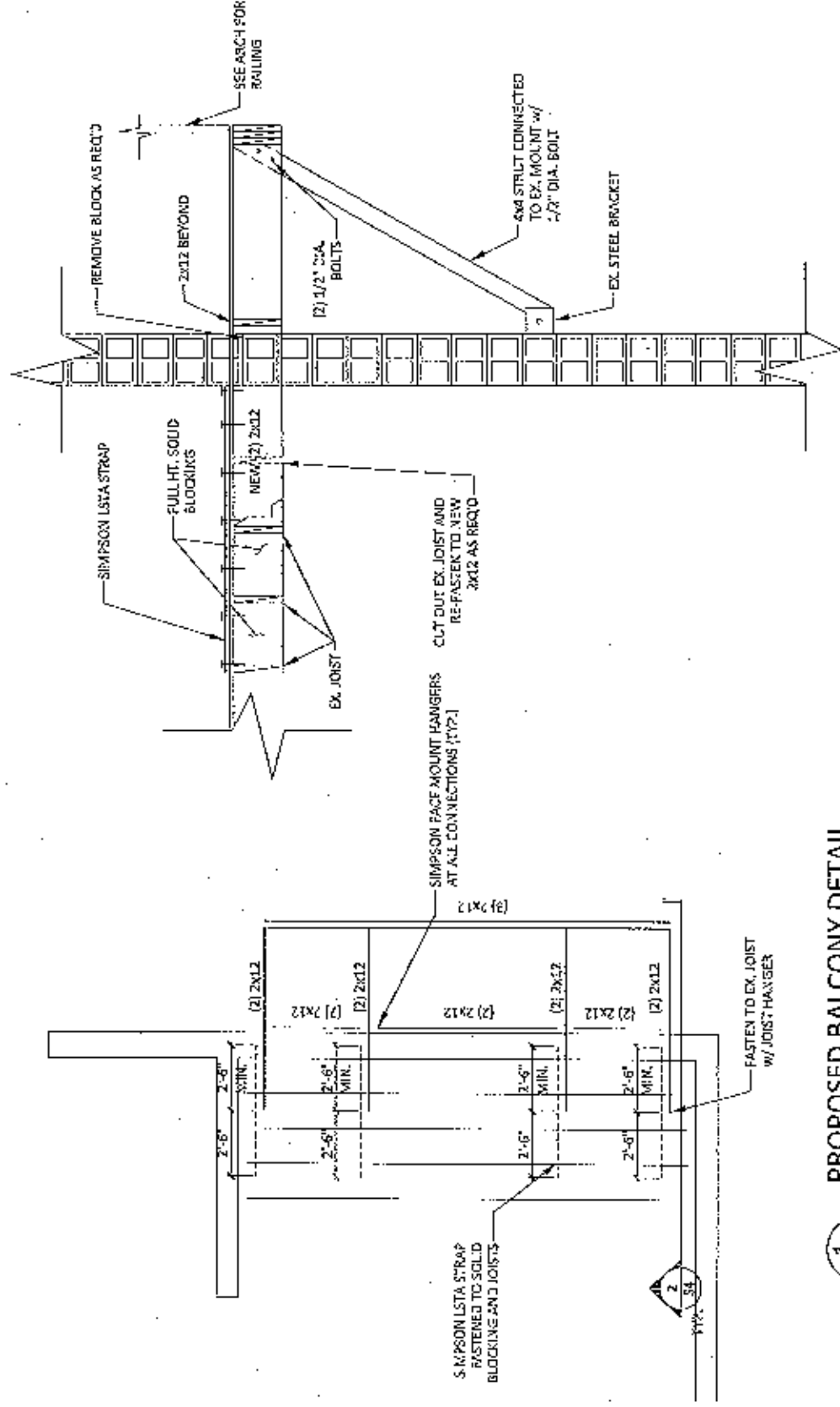
ISSUE	DATE
PERMIT	11-15-12

PROJECT NO. 2210-24

LOFT FRAMING

SHEET NO.

S3



1 **S4** **PROPOSED BALCONY DETAIL**

SCALE: 1/4" = 1'-0"

2 **S4** **TYPICAL BALCONY SECTION**

SCALE: 1/2" = 1'-0"

AR ALBERT & ROSS INC.
7700 WILSON RD. #100
LAKESIDE, OHIO 44130
TEL: 440.225.1234
FAX: 440.225.1235



PROJECT
LAKEWOOD APT.
RENOVATION

22956 CLIFTON AVE
LAKESIDE, OHIO

ISSUE	DATE
PERMIT	11-15-12

PROJECT NO. 12-0-24

BALCONY
FRAMING PLAN

SHEET NO.

S4

14

**APPLICATION
BOARD OF ZONING APPEALS**

Property Address 15617 Detroit Property Owner Name ARBORIA, LLC
 Owner Phone 440-532-1091 - FIRDEN Owner Address 15617 Detroit
 Zoning Parking Parcel Number 313-251005
 Description of Request/Hardship PARKING VARIANCE FOR ESTABLISHMENTS
WITH LESS THAN 100 SEATS.

APPLICATION FEE: \$25 Residential - \$50 Commercial.

Incomplete or Late Applications will not be Accepted.
 (See calendar on page 2 for deadlines)

Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of Authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (3 copies, 8.5 x 11)
4. Photos of the existing conditions.
5. Scaled elevations, sections and perspectives of proposed building improvements. (3 copies color, 8.5 x 11)
6. Authorization for Property Access signed by the Owner. (Pg. 2 of this application form)
7. Fee

Applicant Name (Print Clearly): David G. Clifford Company ADVANTAGE
 Applicant Address: 17502 Riverway 44107
 Phone: 216-406-7711 Fax: _____ E-mail: daveclifford@att.net
 Signature: [Signature] Date: 1/2/2013

OFFICE USE ONLY: Application Reviewed and Accepted by: [Signature] Date: 1-4-2013

File History: _____

Bldg. Dept. Remarks: BUSINESS IS REQUIRED TO HAVE 22 SPACES FOR 85 SEATS - 85 V.D.S
SPACE IS 4677 SQ FT WHICH CREATES 17 SPACES. 22-17 = 5 SPACE VARIANCE REQUIRED

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Architectural Board of Zoning Appeals applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? _____ Yes

✓ No

See attached

Please Print or Type:

Owner/Agent Name: _____

Property Address: _____

Owner/Agent Phone: _____

Tenant Name _____ Tenant Phone _____

Owner/Agent Signature

2013 Calendar Board of Zoning Appeals

Month	Application Deadlines		Pre-Review Meeting		Review Meeting	
January	Wednesday	01-02-13	Thursday	01-17-13	Thursday	01-17-13
February	Wednesday	02-06-13	Thursday	02-21-13	Thursday	02-21-13
March	Wednesday	03-06-13	Thursday	03-21-13	Thursday	03-21-13
April	Wednesday	04-03-13	Thursday	04-18-13	Thursday	04-18-13
May	Wednesday	05-01-13	Thursday	05-16-13	Thursday	05-16-13
June	Wednesday	06-05-13	Thursday	06-20-13	Thursday	06-20-13
July	Wednesday	07-03-13	Thursday	07-18-13	Thursday	07-18-13
August	Wednesday	07-31-13	Thursday	08-15-13	Thursday	08-15-13
September	Wednesday	09-04-13	Thursday	09-19-13	Thursday	09-19-13
October	Wednesday	10-02-13	Thursday	10-17-13	Thursday	10-17-13
November	Wednesday	11-06-13	Thursday	11-21-13	Thursday	11-21-13
December	Wednesday	12-04-13	Thursday	12-19-13	Thursday	12-19-13

PLEASE NOTE: Applications are submitted to the Building Department. It is recommended to submit them prior to the application deadline to review applications. Applications are due before **noon** on the dates indicated above. This will allow the Building Department to review the applications for completeness. **Late or incomplete applications cannot be accepted.**

Pre-Review Meetings for the Board begin at 6:00 P.M. in the Law Department conference room.

Review Meetings will commence at 6:30 P.M. in the Auditorium of Lakewood City Hall located at 12650 Detroit Avenue unless otherwise indicated. You or your representative **MUST** attend the review meeting in order for an application to be reviewed. Please use the western entrance.

Lakewood Brew 15617 Detroit

Advantegrity LLC is seeking to open Lakewood Brew at the property located at 15617 Detroit Avenue. Lakewood Brew will be a Coffee House with an Entrepreneurial Brew on Premise concept. We will serve beverages, food and desserts. We are seeking a parking variance so that we may have seating for less than 100 people at the establishment. We would also seek to take two spots on Detroit Avenue in front of our store front to offer valet parking and shuttle service for our customers that live in Lakewood.

There is significant parking behind the building with space for approximately 10 vehicles. There is a city lot directly behind the building with metered spots. CVS recently expanded and there are many spots there, along with street parking along Detroit, Lakeland, and Summit.

Respectfully submitted,



David G. Clifford

President

Advantegrity LLC

January 2, 2013

City of Lakewood, Ohio

To Whom It May Concern:

I, Firdeo Satka, Arberia, LLC., hereby grant Dave G. Clifford the right to apply for parking consideration from the City of Lakewood which may be required for his occupancy, on the property located at 15709-17 Detroit Road, Retail Storefronts. Subject to achieving a mutual agreeable Lease Agreement which may be provided upon request.



Firdeo Satka, Arberia, LLC.

01-02-2013
Date

800 7 DARTMOUTH • Latham, Ohio • 419.327.2100 • www.dartmouthtech.com

For advertisement prices and rates, contact the advertising manager, P.O. Box 990, 17735 Oldway Road, Leesville, SC 29556. Phone: 803/733-2222.

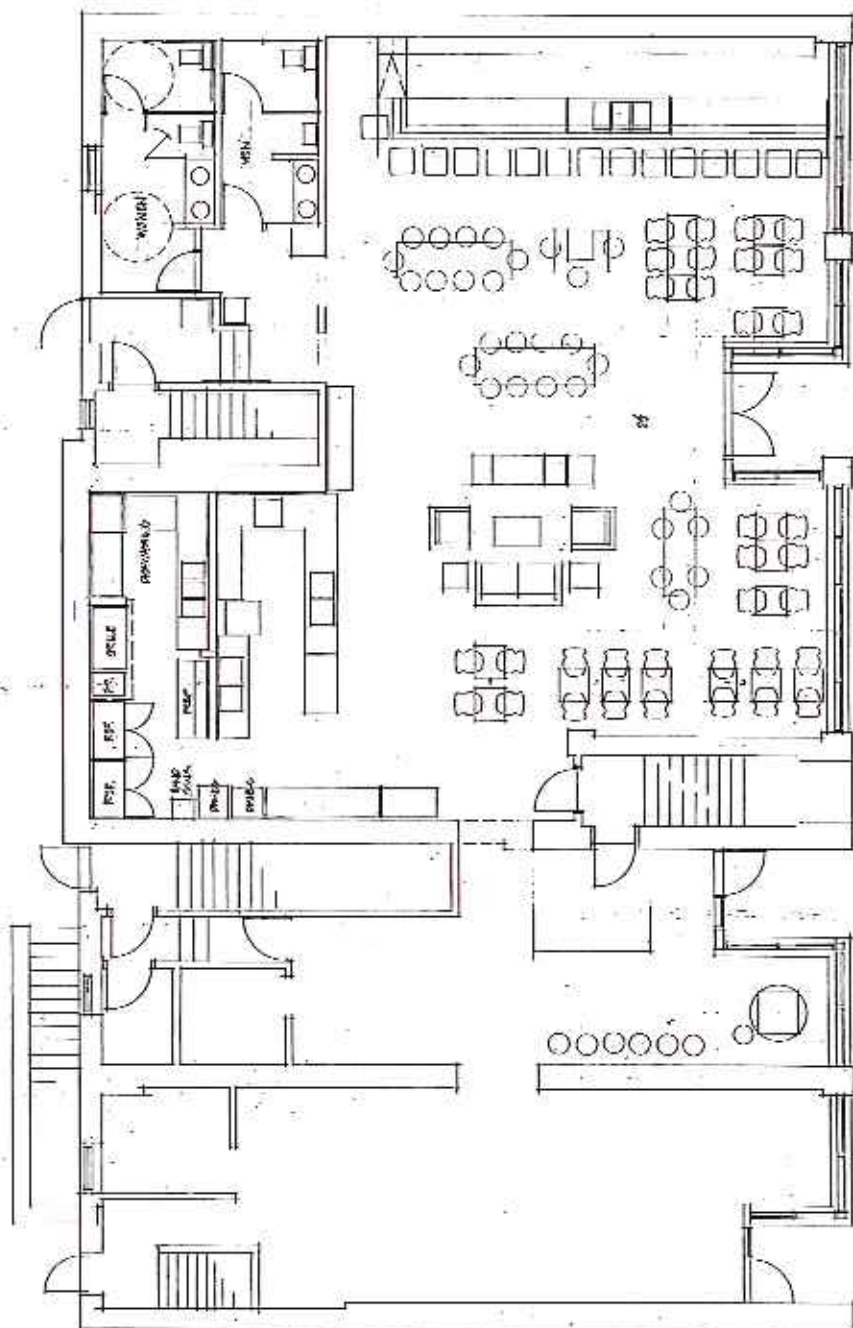
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LAKEWOOD BREN
FIELD STATION RD
LAKEWOOD, A 4157

RETURN TO: 03/28/2011

EBERHARD Architects

Project No.	1000
Date	10/10/10
Page	1000





To see all the details that are visible on the screen, use the "Print" link next to the map.



20